

October 4, 2021

INVITATION TO BID

**Architect Engineering Design Services Associated with:
CLOVER STREET ELEMENTARY SCHOOL
ROOF REPLACEMENT PROJECT
57 Clover Street
Windsor, CT 06095**

THIS IS AN INVITATION FOR BIDS AND THE TOWN RESERVES THE RIGHT TO NEGOTIATE AND CONTRACT WITH ANYONE OR NO ONE, HIGH OR LOW, AS IT DETERMINES TO BE IN THE BEST INTERESTS OF THE TOWN OF WINDSOR.

INTENT AND GENERAL INFORMATION

In accordance with the provisions of Connecticut General Statutes (CGS) Section 10-291 as amended; The Town of Windsor solicits proposals from LICENSED architects to design replacement of existing roof; 46,000 sq. ft. of flat roof.

All drawings documents performed under contract between the Town of Windsor and the ARCHITECT is required to be APPROVED by town Building and Fire Marshals offices.

SCOPE OF WORK

The selected ARCHITECT will design the replacement of 46,000 sq. ft. of flat roof for Clover Street Elementary School to state school specifications.

BID AND SUBMITTAL CONDITIONS:

THE BIDS SHALL INCLUDE:

1. Bidders will submit two sets of their sealed bid with enclosed BID FORM.
2. A statement of staff availability and their experience and background.
3. A projected time schedule of the work. It is expected that the design work will be completed sooner or by February , 2021.
4. The existing roof is Sarnifil type and cover classrooms, hallways, library, and cafetorium.
5. Currently there are minor leaks in section B.
6. Awarded designer will coordinate all documents for State of Connecticut review.

7. Awarded designer will coordinate all documents with / for Windsor BOE and attend State of Connecticut design reviews to receive approval for Windsor state reimbursements.
8. Awarded designer will attend all Public Building Meetings to update PBC on schematic designs and construction drawings and specifications, as well as project construction updates.
9. Awarded designer will attend construction project walkthrough, assist town with bids review, attend run weekly construction project meetings.
10. Awarded designer will file all documents with State for this project.

SUBMISSION REQUIREMENTS

Bids will be received at the Finance Department Windsor Town Hall Attn: Director of Finance James Bourke Windsor Town Hall 275 Broad Street, Windsor, CT 06095 until October 26, 2021 10:00 AM at which time they will be opened in the Town Hall, first floor, Ludlow Room and publicly read aloud.

Contact Whit Przech at 860-285-1870 with any and all questions related to this design project. A mandatory walkthrough is scheduled for Thursday October 14, 2021 10:00 AM. Assembly and Sign-in will be in school cafeteria.

TERMS AND CONDITIONS

Unless otherwise modified, the following terms and conditions will apply to professional services rendered. Bids must be held firm and may not be withdrawn for ninety (90) days after the bid opening.

Services to be Provided

The Architect shall provide services as set forth in their bid and in accordance with the terms identified herein. The services provided will be performed on behalf of and solely for the Town of Windsor and any information, tests, reports, correspondence, and conclusions shall not be released to other parties unless authorized by the Town of Windsor or in accordance with any applicable state or federal law.

Billing and Payment

The Town of Windsor will pay the Architect for services performed in accordance with the signed Agreement. Invoices will be submitted periodically or upon completion of services rendered for approval to the PBC. The Town reserves the right to request substantiating information on any bill submitted. The Town will, within 10 days after approval by the Town's Public Building Commission of an invoice requesting payment, either indicate the approval of payment and process the invoice or indicate to the Architect in writing, the reason for refusing to approve said invoice. In the latter case, the Architect will make the necessary corrections and

resubmit the invoice. The Town will, within 30 days of an approved invoice, pay the amount to the Architect.

Court Litigation and Waiver of Jury Trial

Notwithstanding the existence of any provision for arbitration of disputes in the contract or any legislation providing for arbitration, any dispute arising under this contract shall not be submitted to arbitration and the parties shall be left to the remedies at law. It is further expressly agreed that both parties waive and relinquish their right to a trial by jury of any dispute arising out of this contract. The intent of the parties is not to have a jury decide any aspect of any dispute which may arise under this contract.

Mediation

All claims, disputes or other matters in question between the parties to this Agreement arising out of or relating to this Agreement or breach thereof shall be submitted to non-binding mediation. On the written notice of either party to the other of the election to submit any dispute under this Agreement to mediation, each party shall designate its representative and shall meet at the Windsor Town Hall within ten (10) days after the service of notice. The parties themselves shall then attempt to resolve the dispute within ten (10) days of meeting.

Should the parties themselves be unable to agree on a resolution of this dispute, and then the parties shall appoint a third party, who shall be a competent and impartial party and who shall be acceptable to each party, to mediate the dispute. Each party shall pay the fees and expenses of the party mediator and such costs shall be borne equally by both parties. Upon agreement of the parties, either party may waive the first step in the mediation process and appoint a mutually acceptable mediator.

Any third party mediator designated to serve in accordance with the provisions of the Agreement shall be disinterested and shall be qualified to evaluate the performance of both parties.

This process shall be considered as a condition precedent to moving to court.

Equitable Relief

Nothing herein shall prevent either party from obtaining a court order enforcing the mediation process or such other temporary or equitable relief until such time that the dispute is settled or finally adjudicated.

Insurance

The ARCHITECT shall, after being awarded the Contract but prior to starting work, furnish Certificates of Insurance, including Automobile, Commercial General Liability, Professional Liability, Umbrella Liability, and Worker's Compensation insurance in the following amounts:

1. **Commercial General Liability Insurance:**

The ARCHITECT shall provide Commercial General Liability insurance with a combined single limit of \$1,000,000 per occurrence, \$1,000,000 aggregate for bodily injury and property damage.

The CGL shall be written on ISO occurrence form CG 00 01 10 93 (or a substitute form providing equivalent coverage) and shall cover liability arising from premises, operations, independent contractors, products-completed operations, personal injury and advertising injury, and liability assumed under an insured contract (including the tort liability of another assumed in a business contract)

2. **Commercial Automobile Liability Insurance**

The ARCHITECT shall provide Commercial Automobile Liability insurance with a combined single limit of \$1,000,000 per occurrence, \$1,000,000 aggregate, and shall include coverage for all owned, hired, and non-owned vehicles.

3. **Worker's Compensation Insurance**

The ARCHITECT shall provide Worker's Compensation Insurance in the required amount as applies to the State of Connecticut and Employers Liability Insurance as follows:

- Bodily Injury by Accident - \$100,000 each accident
- Bodily Injury by Disease - \$500,000 policy limit
- Bodily Injury by Disease - \$100,000 each employee

4. **Umbrella Liability Insurance**

The ARCHITECT shall provide Commercial Umbrella Liability insurance with a combined single limit of \$1,000,000 per occurrence, \$1,000,000 aggregate for bodily injury and property damage.

5. **Professional Liability Insurance**

The ARCHITECT Shall provide Professional Liability insurance with a combined single limit of \$1,000,000 per occurrence, \$1,000,000 aggregate for bodily injury and property damage.

Each Policy of Insurance shall include a waiver of subrogation in favor of the Town of Windsor and shall provide no less than thirty- (30) days notice to the Town of

Windsor in the event of a cancellation or change in conditions or amounts of coverage. The Commercial General Liability, Automobile, and Umbrella Liability shall name the Town of Windsor as an additional insured.

Certificates of Insurance, acceptable to the Town of Windsor shall be delivered to the Town of Windsor prior to the commencement of the work and kept in force throughout the term hereof.

USE OF ARCHITECTS DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS

The drawings, specifications and other documents prepared by the Architect for this Project shall be the joint property of the owner and the Architect, provided, however, the rights of ownership shall be limited as follows:

(a) Architect shall provide the owner with all close out documents, any all manuals and documentations.

The Owner shall have the unlimited right to submit or distribute documents to meet official regulatory requirements or for similar purposes in connection with the project.

Town of Windsor
Windsor Town Hall
Finance Department
275 Broad Street
Windsor, Connecticut 06095

TO: Mr. James Bourke
Director of Finance
Town of Windsor
275 Broad Street
Windsor, CT 06095

The undersigned _____ doing business in the Town
of _____,
County of _____, State of _____, submits
herewith, in conformity with the RFP dated August 24, 2019, the following proposal.

**CLOVER STREET ELEMENTARY SCHOOL
ROOF REPLACEMENT PROJECT**

1. PROPOSAL LUMP SUM DESIGN BID

\$ _____

(_____)

written figures

Name of Bidder: _____

By _____
Title _____

Address of Bidder _____

Telephone No. _____ email _____

4. Receipt of Addenda: Receipt of the following Addenda (if any) is hereto acknowledged:

Addendum	Signature	Date
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No. 1	_____	_____
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No. 2	_____	_____
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No. 3	_____	_____
-------	-------	-------

No. 4	_____	_____
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Town of Windsor
Clover Street School
57 CLOVER STREET.
Windsor, CT. 06095

Roof Inspection Date

9/17/2019

Roof Identification and Size

All roof areas consists of a thermoplastic membrane

SR Roofs on Sections G and I
Siplast roofs Sections A, B, C, D, E, F, H, J, K, L, M, N, O, P

Total sq. footage 63,717

SR roofs 10,227 sq. ft.
All Sarnifil roofs 53,490 sq. ft.

Estimated Installation Date

SR Roofs installed in 2017
Sarnifil Roofs installed in 1995 and 1997

Leak History

Leaks have been reported in Secton E

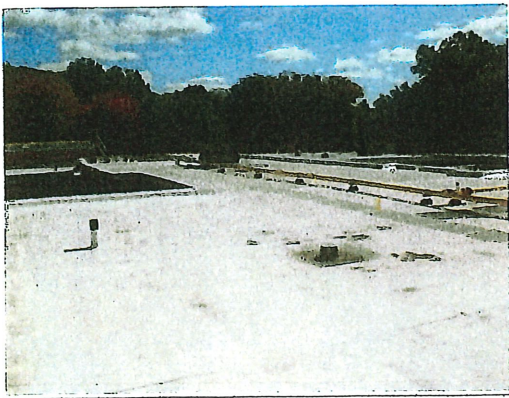
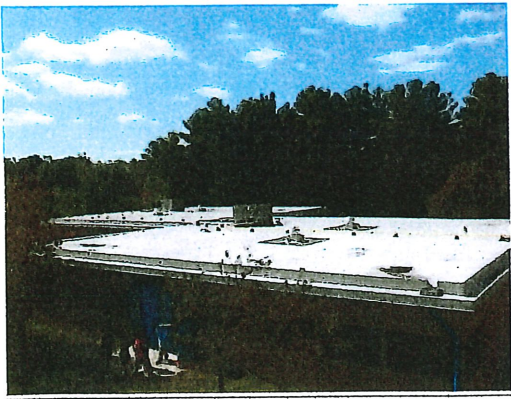
Drainage/Slope

The existing pitch has a minimum of a 1/4" per 12 inch slope on the low slope areas

General Conditions

- SR Roofs are in good shape, no problems detected.
- Sarnifil roofs need to be replaced soon due to age, between 22 and 24 years old.

Photographs



CLOVER STREET ELEMENTARY SCHOOL

57 CLOVER STREET
WINDSOR, CT

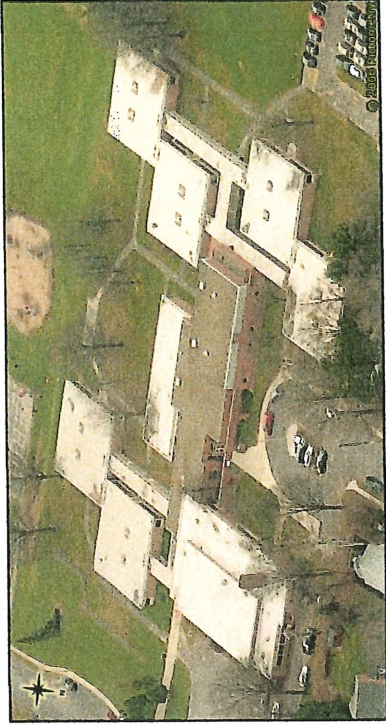




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PAGE #	DRAWING NUMBER	AREA
PAGE 1	1-TITLE PAGE	
PAGE 2	2-ALL ROOFS	63,717 sq. ft.
PAGE 3	3-SECTION 1	34,739 sq. ft.
PAGE 4	4-SECTION 2	28,978 sq. ft.

LEGEND

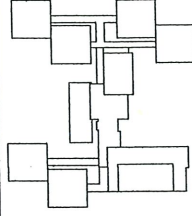
WALL TYPE	SYMBOL TYPE
 FLAT ROOF	<input checked="" type="checkbox"/> CURB (HVAC)
 PITCHED ROOF	<input checked="" type="checkbox"/> CURB
	<input type="checkbox"/> STACK

CLOVER STREET
ELEMENTARY SCHOOL
57 CLOVER STREET
WINDSOR, CT

SCALE : NTS

DWG # 1 OF 4

KEY DRAWING



DRAWING #: 1-TITLE PAGE

DATE: 12-12-13

DRAWN BY: DMR

REVISION #1 -

REVISION #2 -

REVISION #3 -

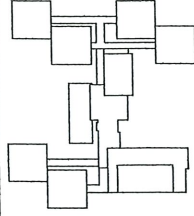
The dimensions roof equipment, roof flashing, and square footage on these drawings are calculated to be within 3-7% of the actual field dimensions. These drawings are for pre-bid purposes only and should not be used for bidding purposes. Due to the limitations of the software program commercially available at the creation of this document actual dimensions and penetrations can only be determined by measuring the physical structure on the roof using proper measuring tools.

CLOVER STREET
ELEMENTARY SCHOOL
57 CLOVER STREET
WINDSOR, CT

SCALE : NTS

DWG # 2 OF 4

KEY DRAWING



DRAWING #: 2-ALL ROOFS

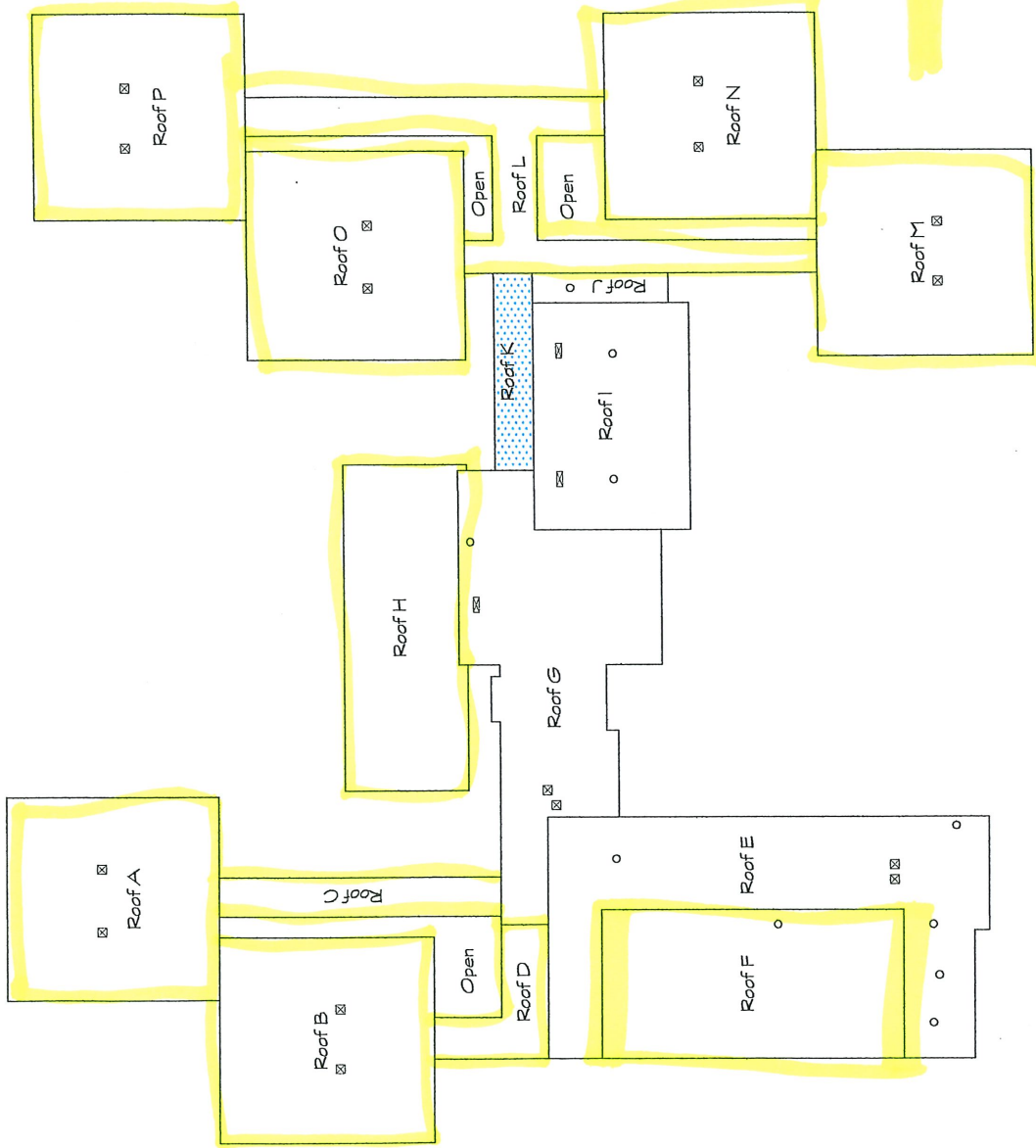
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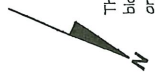
REVISION #1 -

REVISION #2 -

REVISION #3 -



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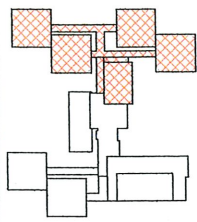


CLOVER STREET
ELEMENTARY SCHOOL
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WINDSOR, CT

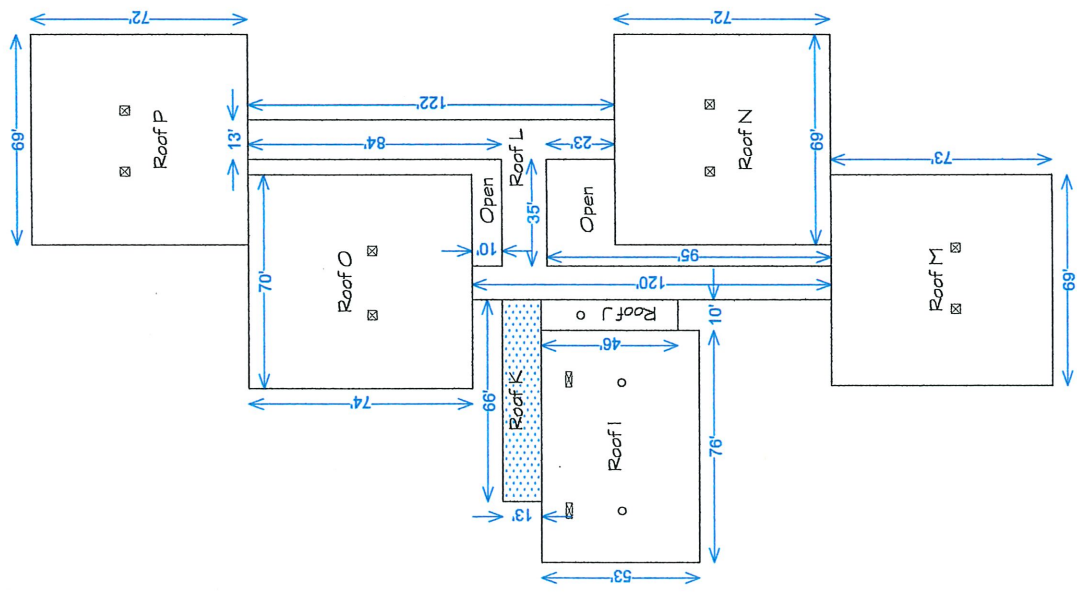
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DWG # 4 OF 4

KEY DRAWING




























DRAWING #:	4-SECTION 2
DATE:	12-12-13
DRAWN BY:	DMR
REVISION #1	-
REVISION #2	-
REVISION #3	-



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Takeoff Record - 2-ALL ROOFS.RCG

	<u>(Units: Feet)</u>	<u>Area</u>	<u>Length</u>	<u>Count</u>
	Roof A			
	Flat Roof (Dig)	4896.00	280' 0"	4
	Curb	36.00	24' 0"	2
	Roof B			
	Flat Roof (Dig)	5037.00	284' 0"	4
	Curb	36.00	24' 0"	2
	Roof C			
	Flat Roof (Dig)	1249.00	218' 0"	4
	Roof D			
	Flat Roof (Dig)	1042.00	168' 0"	6
	Roof E			
	Flat Roof (Dig)	6785.00	563' 0"	10
	Curb	36.00	24' 0"	2
	Stack	59.00	40' 0"	5
	Roof F			
	Flat Roof (Dig)	5151.00	306' 0"	4
	Stack	12.00	8' 0"	1
	Roof G			
	Flat Roof (Dig)	6199.00	456' 0"	18
	Curb	57.00	38' 0"	3
	Stack	12.00	8' 0"	1
	Roof H			
	Flat Roof (Dig)	4383.00	308' 0"	8
	Roof I			
	Flat Roof (Dig)	4028.00	258' 0"	4

Takeoff Record - 2-ALL ROOFS.RCG

	<u>(Units: Feet)</u>	<u>Area</u>	<u>Length</u>	<u>Count</u>
<input type="checkbox"/>	Roof I			
<input checked="" type="checkbox"/>	Curb	42.00	28' 0"	2
<input type="checkbox"/>	Stack	24.00	16' 0"	2
<input type="checkbox"/>	Roof J			
<input type="checkbox"/>	Flat Roof (Dig)	460.00	112' 0"	4
<input type="checkbox"/>	Stack	12.00	8' 0"	1
<input type="checkbox"/>	Roof K			
<input checked="" type="checkbox"/>	Roof Plane (Dig)	905.00		
<input type="checkbox"/>	Roof L			
<input type="checkbox"/>	Flat Roof (Dig)	3431.00	572' 0"	12
<input type="checkbox"/>	Roof M			
<input type="checkbox"/>	Flat Roof (Dig)	5038.00	285' 0"	4
<input checked="" type="checkbox"/>	Curb	36.00	24' 0"	2
<input type="checkbox"/>	Roof N			
<input type="checkbox"/>	Flat Roof (Dig)	4969.00	282' 0"	4
<input checked="" type="checkbox"/>	Curb	36.00	24' 0"	2
<input type="checkbox"/>	Roof O			
<input type="checkbox"/>	Flat Roof (Dig)	5180.00	288' 0"	4
<input checked="" type="checkbox"/>	Curb	36.00	24' 0"	2
<input type="checkbox"/>	Roof P			
<input type="checkbox"/>	Flat Roof (Dig)	4969.00	282' 0"	4
<input checked="" type="checkbox"/>	Curb	36.00	24' 0"	2